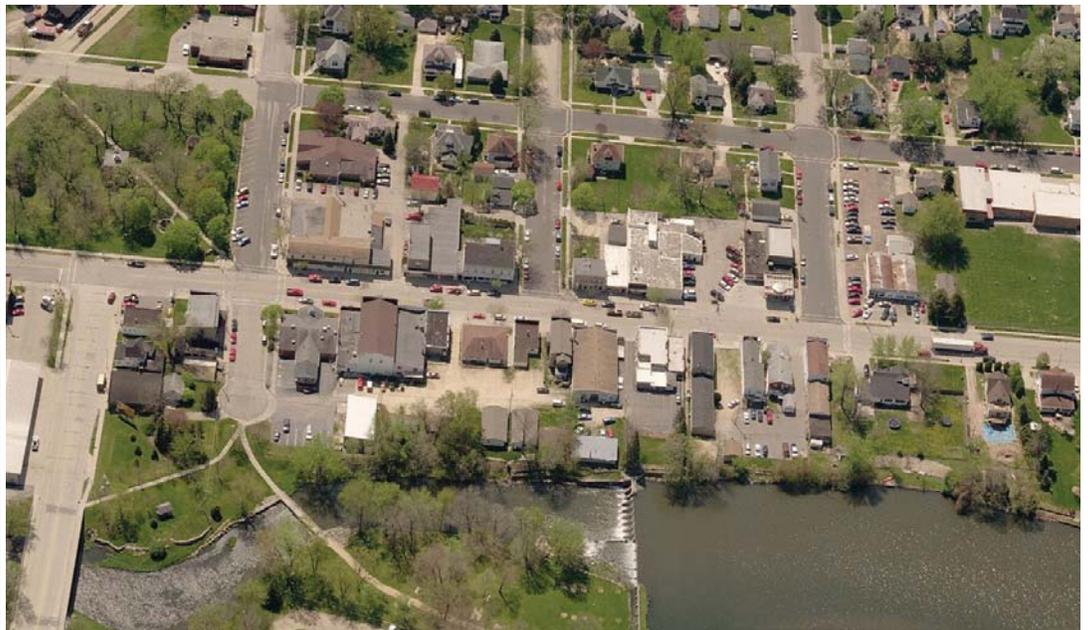


BELLEVILLE DOWNTOWN DESIGN STANDARDS MANUAL

Created with assistance from
MSA Professional Services, Inc.

Adopted April 20, 2009



SITE DESIGN

BUILDING DESIGN

WATERFRONT YARDS

RESTORATION &
PRESERVATION

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Design District

Intent

The Belleville Downtown Design Standards are intended to improve and protect the appearance, value, and function of properties in the downtown area, especially including commercial and civic uses.

The standards are intended to allow for creativity and variety within a framework of basic design parameters.

The district includes historic structures that should be preserved and non-historic structures and uses that may be candidates for redevelopment. "Historic" is a subjective designation not necessarily requiring official designation on a state or federal registry. All building or site improvement activities must conform to the standards defined herein.

The Downtown Design Standards District was created as an amendment to the Village of Belleville Zoning Code, Title 10, Chapter 1.



Administration

Applicability

The Downtown Design Standards apply to all parcels in the Downtown Design Standards District, but they DO NOT compel unplanned modifications. Property owners or leaseholders that modify property must ensure that such modifications conform to these standards.

It is not the intent of these standards to require alterations beyond the scope of a proposed change, meaning that, for example, window replacements will not automatically trigger structural changes or awning changes.

Standards Vs. Guidelines

Required standards are located in the box at the bottom of each page. These standards will be enforced unless a waiver is granted. Each section of this manual also includes design “Recommendations”. Property owners/ leaseholders should consider these recommendations and the Village may encourage conformance to the recommendations, but they will not be enforced as part of the Village Zoning Ordinance.

Waivers

Applicants that do not believe they can or should follow a standard must negotiate with the Plan Commission for a waiver of that requirement. Waivers are granted by the Plan Commission on a case-by-case basis and are decided based on the applicant’s ability to demonstrate one or more of the following conditions:

- A) the required design feature cannot be met on the site
- B) the requirement would create undue hardship for the applicant as compared to other properties in the district
- C) the intent of the standards can be successfully met with an alternative design

Review Process

Applicants should review this Handbook at the beginning of the design process. The following items must be submitted for review:

- Design Standards Checklist (see last pages of Handbook)
- Illustrations, Diagrams, Samples, and Spec Sheets

Village staff completes an initial review and the Village Administrator is authorized to approve those applications that both meet the standards and require no additional permit approval by the Village. Applications determined by staff to NOT meet the standards, that require a site plan, and/or that require additional zoning or building permit approval will be forwarded to the Plan Commission for their review with any applicable staff notes. The applicant will be informed of the outcome of this initial review within five (5) business days of submittal and may decide at that time to withdraw or revise the submittal or to proceed to Plan Commission review.

Submissions must be made 45 days before a Plan Commission meeting. Applicants that wish to appeal the decision of Plan Commission may do so to the Village Board. Requests for appeal should be made to the Village Administrator.

Terms

| | |
|--|--|
| Awning sign | a sign that is affixed to an awning or canopy, or is designed into the material of an awning or canopy |
| Back-lit sign | a sign illuminated from within |
| Billboard sign | a sign which advertises goods, products or facilities, or services not necessarily on the premises where the sign is located or directs persons to a different location from where the sign is located |
| Building mounted sign | a sign that is affixed to the building, and that projects less than six (6) inches from the surface of the building |
| Clear glass | glass that is not frosted, tinted or obscured in any way, allowing a clear view to the interior of the building |
| CMU, smooth-faced | a concrete masonry unit, commonly referred to as concrete block, having a smooth exterior finish |
| CMU, split-faced | a concrete masonry unit with a textured exterior finish |
| Functional public entrance | a building entrance that is unlocked during business hours and is designated for public use |
| EIFS (Exterior Insulation Finishing System) | a building product that provides exterior walls with a finished surface, insulation and waterproofing in an integrated composite system |
| Free-standing sign | any sign which is supported by structures or supports in or upon the ground and independent of support from any building |
| Ground floor facade | the ground floor portion of the building exterior facing a public street (for measurement purposes, the ground floor facade includes the entire width the building and the first ten (10) feet above grade) |
| Electronic Message Unit Sign | any sign whose message may be changed by electronic process, including such messages as copy, art, graphics, time, date, temperature, weather or information concerning civic, charitable or the advertising of products or services for sale on the premises. |
| Lintel | the horizontal beam spanning an opening in an exterior wall |
| Monument sign | a sign that is solid from ground level to the top of the sign, often incorporating a masonry foundation |

| | |
|---------------------------|---|
| Parking lot | any parking area that has five (5) or more stalls |
| Parking stall | an off-street space available for the parking of a motor vehicle and which is exclusive of passageways and driveways, appurtenant thereto and giving access thereto |
| Pole sign | a free-standing sign supported by one or more poles, typically metal |
| Projecting sign | any sign extending more than eighteen (18) inches, but less than four (4) feet from the face of a wall or building; such sign may not extend more than three (3) feet into the right-of-way |
| ROW (Right-of-way) | land reserved for public use, including streets and sidewalks |
| Spandrel | decorative wall panel that fills the space between a storefront window and the foundation below |
| Transom | a horizontal window above another window or door usually spanning the entire front facade |
| Vegetative buffer | a portion of land that uses trees, bushes, grass, etc. to separate two distinct areas visually and physically |
| Window sign | any sign located completely within an enclosed building and visible from a public way. |

Intent

To ensure adequate design and review of site-related characteristics.

Examples

This plan shows pedestrian pathways, vehicular parking/circulation, and landscaping.



Standards

1. A site plan **shall** be submitted with the Design Standards Checklist and **shall** show all of the important features planned for the site, including, as applicable:

- Trash & Recycling Container Placement
- Pedestrian Pathways
- Vehicular Parking & Circulation
- Landscaping
- Stormwater Management Features
- Lighting

Street Relationship

Intent

To encourage streetscape enhancements that blend the public and private realms of Main Street and enhance the pedestrian experience.

Examples

An example of new construction that is set back ten feet from the street right-of-way, allowing extra room for outdoor seating, plantings and wider sidewalks.



An example of building on a corner with a public entrance off of Main St. sidewalks.



Recommendations

- When appropriate within this standard, the siting of adjacent buildings should be considered when choosing the setback - a uniform setback is desirable to establish a more consistent “street wall” in the downtown area.
- A functional public entrance should be located on the Main Street building facade.
- Disabled access should be seamlessly incorporated into the building and site design. Facilities should be designed to provide inviting access to all users.
- The street frontage should have features that enliven the street, including, as appropriate, seating areas (benches, tables, or low seating walls), raised planters, and flower beds.

Standards

1. Primary structures **shall** be set back from the street right-of-way a minimum of four (4) feet and a maximum of ten (10) feet.
2. Building projections, such as awnings and canopies, may encroach the building setback, but **shall not** encroach the public right-of-way.

Intent

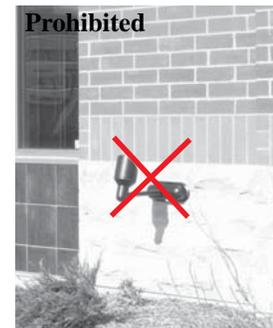
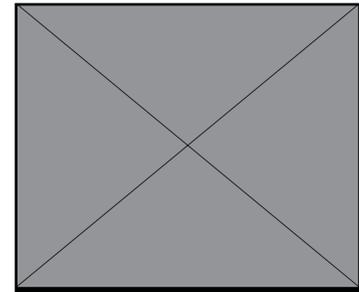
To promote effective and attractive exterior lighting that does not produce glare or light pollution.

Examples

Three examples of full cutoff (post-mounted & building-mounted) fixtures that minimize glare and light pollution.

Picture on the left demonstrates how to mitigate light spillage onto adjacent residential or park spaces through the use of shielding.

Images on the right are examples of prohibited light fixtures: non-cutoff (middle) & light directed to the sky (right).



Recommendations

- Exterior lighting should be designed to complement the character of the building.
- Parking lots and pedestrian walkways should be illuminated uniformly and to the minimum level necessary to ensure safety. A greater number of lower-watt lights may be necessary to achieve this guideline.
- Exterior lighting should be energy efficient and should render colors as accurately as possible (i.e. white light rather than green or yellow light). Preferred light types include: LED, fluorescent, and high-pressure sodium.

Standards

1. Spec sheets **shall** be submitted with the Design Standards Checklist for each exterior light fixture to be used.
2. All exterior lights **shall** be full cutoff fixtures. This means no light escapes above 90 degrees from vertical. Lights directed towards the sky are **prohibited**.
3. Parcels abutting residential or park uses **shall not** have light spillage in excess 0.5 footcandles as measured horizontally, five (5) feet above the ground level at the property line of the affected parcel line.

Parking

Intent

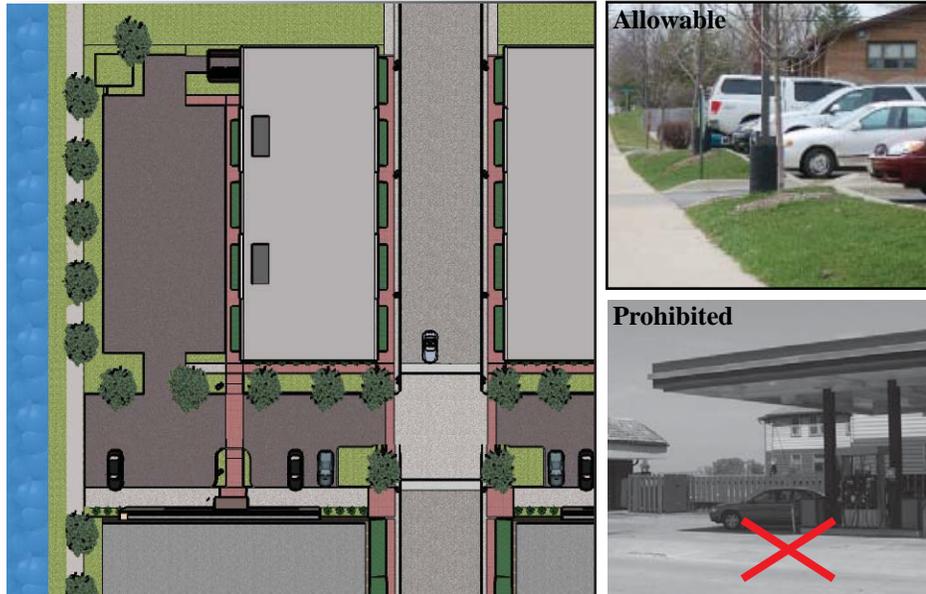
To provide parking lots that are safe for drivers and pedestrians, while mitigating the visual and environmental impacts.

Examples

The diagram provides an example of two properties sharing parking with a single row of parking on the side yard (44 feet wide) and two rows in the rear yard (64 feet).

The top right picture is an example of a vegetative buffer that creates a physical separation between the parking area and the public sidewalk.

The lower right picture shows continuous pavement between the sidewalk and drive aisle with no vegetative buffer.



Recommendations

- Shared parking lots are encouraged to reduce total impervious surfaces, reduce access points to the street (and across sidewalks), and provide more convenient access for customers.
- On-street parking available along the site's street frontage may be included in calculating the off-street parking ratio in order to maximize the use of on-street parking and minimize the need for off-street.
- Bike racks, designed to allow a U-shaped lock that secures the frame to the rack, are encouraged. It is suggested that each structure should have a minimum of two (2) bicycle parking spaces, though businesses serving bike tourists should have more.
- Concrete curbs are encouraged along all parking and drive areas to protect landscaping and pedestrian ways. Curbs may feature gaps to allow stormwater flow into infiltration basins.

Standards

1. New off-street parking in front of the building is **prohibited**. Side yard parking **shall not** be more than sixty-four (64) feet wide (necessary space needed for two rows of parking with a drive aisle).
2. Parking stalls and drive aisles **shall** be separated from the public right-of-way by a planted landscape buffer. The depth of this buffer **shall** be four (4) feet or equal to the building setback, whichever is greater.

Intent

To highlight and protect pedestrian routes, guide the safe flow of vehicular traffic, improve the appearance of the parking area, and reduces the negative ecological impacts created by parking lots (heat gain, stormwater runoff volume and contaminants).

Examples

A 3-foot high buffer along the public sidewalk defines and separates private parking areas from the public street realm. This improves aesthetic appearance and the pedestrian experience.

The pictures to the right illustrates ways to screen parking areas abutting the sidewalk.



Recommendations

- Yard areas not used for off-street parking are encouraged to be attractively landscaped (trees, shrubs, plants or grass lawns), screening parking and service areas from adjacent properties so as not to impair the values of the adjacent properties.
- Decorative fences, walls, and/or landscaped edges are strongly encouraged in order to screen parking areas from the street and views from Belleville Community Park. Landscaped edges are preferred type of screening along the water's edge.
- Indigenous plants with low water and pesticide needs are strongly encouraged (work with local nurseries in developing the landscaping plan).

Standards

1. Plantings and low fences located between parking areas and public right-of-way **shall not** obscure vision between three (3) and eight (8) feet above ground for pedestrian safety. Trees and bushes that would naturally obscure this zone at maturity **shall not** be used.
2. One shade tree **shall** be planted for every six (6) off-street parking spaces with a minimum of one (1.0) inches caliper or at least eight (8) feet tall. To meet this requirement the shade tree **shall** be planted adjacent to the public right-of-way, within the parking areas or along the perimeter of the lot adjacent to other properties or the waterfront.
3. All plantings within fifty (50) feet of the water's edge **shall** be native, noninvasive species.

Stormwater

Intent

To reduce the negative ecological impacts created by parking lots (heat gain, stormwater runoff volume and contaminants).

Examples

The pictures at right provide examples of rain gardens and bioretention areas within or near parking lots.



The images on the left are examples of permeable surfaces: porous concrete (top) and paving blocks (lower).



Picture on the right is an example of an extensive green roof.



Recommendations

- Where possible, use rain gardens and bioretention basins to mitigate run-off and filter pollutants.
- Where large paved areas, such as parking lots, are required, it is recommended that permeable surfaces, pervious asphalt, pervious concrete, or special paving blocks are considered.
- Green roofs are encouraged.

Standards

1. On-site stormwater management systems **shall** be designed to meet the requirements of Village Ordinance Title 10: Chapter 8 (4,000 SF or greater land disturbance) and Wisconsin Statutes Chapter NR 151 (1 acre or greater land disturbance).

Service Areas

Intent

To improve the appearance of the Main Street area.

Examples

Good examples of how to cover service areas: by a wooden fence with landscaping (right) or by a brick wall with landscaping (left).



Example of a building facade screening rooftop mechanical from ground view.



Recommendations

- Screening should be compatible with building architecture and other site features.

Standards

1. Trash Containers, recycling containers, street-level mechanical equipment (gas meters, air conditioners, etc.) and rooftop mechanical equipment **shall** be located or screened so that they are not visible from a public street, waterfront or adjacent properties. Electrical service boxes are excluded from this requirement.
2. Placement of service boxes **shall** be located away from pedestrian zones. Preferred locations are in the side yard or in the rear yard within twenty (20) feet of the building plane.

Scale & Articulation

Intent

To establish and maintain a consistent street wall that provides visual interest and human scale.

Examples

The diagram (top left) illustrates a traditional storefront, featuring a base, middle, and top.

The images on the right demonstrate how a vertical proportioned building (lower) relates to the existing downtown character and a horizontally proportioned building (upper) does not.

The picture on the lower left provides an example of a horizontal expression line.



Recommendations

- A full two story building is encouraged, wherever feasible.
- All new buildings are encouraged to utilize details or changes in materials to create a discernible base, middle and top.
- New buildings should incorporate horizontal expression lines from existing buildings within the same block whenever practical.

Standards

1. Minimum building height shall be sixteen (16) feet, measured from the sidewalk to the top of the parapet wall or the average height of a pitched roof (midpoint between peak and eave).
2. Maximum building height **shall** be thirty-five (35) feet (2.5 stories).
3. New buildings **shall** establish vertical proportions for the street facade, and for the elements within that facade (windows, doors, structural expressions, etc). Any building with a total width equal to or greater than its height **shall** utilize one or more of the following techniques: expression of structural bays, variations in material, variation in the building plane, and/or vertically-proportioned windows.
4. New buildings **shall** utilize a horizontal expression line that projects at least two (2) inches from the building facade to articulate the transition between the first floor and upper floors.
5. A detailed elevation of each exposed building facade and any neighboring buildings **shall** be submitted with the Design Standards Checklist.

facade - Base

Intent

To reinforce the existing character of downtown area, and to enliven and activate the public streets.

Examples

The picture on the left illustrates an existing building on Main Street that meets the 35% clear glass requirement.

The images on the right provide examples of buildings incorporating human-scaled elements, including large windows which activate the street.



Recommendations

- The base of the building should include elements that relate to the human scale. These should include doors, windows, texture, projections, awnings, canopies, ornamentation, etc.
- Downtown buildings should activate the street by providing significant visibility through the ground floor facade to activities or displays within the building.
- The use of reflective or dark-tinted glass is discouraged, especially at the ground level.
- All building faces should use design features similar to the primary front facade.

Standards

1. A discernible “base” **shall** be established. The base **shall** be at least two (2) feet in height, but may include the entire first floor.
2. Buildings **shall** have a ground floor facade that is comprised of at least thirty-five (35) percent clear glass. A minimum of two (2) feet **shall** be maintained between the glass and any interior dividers to allow for product display.
3. Any secondary facade facing a public street (corner buildings) **shall** utilize the same design features and materials as the primary front facade.
4. A diagram illustrating the percentage transparent glass on each street-facing facade **shall** be submitted with the Design Standards Checklist.

Facade - Top

Intent

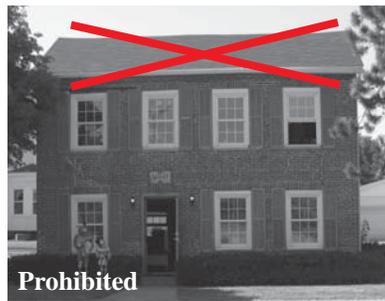
To reinforce the existing character of downtown area, and to provide variety and visual interest.

Examples

The pictures on the right provide examples of unique, decorative cornices, creating a discernible top to the buildings.



The example on the left does not meet these standards as the roofline is parallel to the street with the gable facing away from the street.



The example on the right has low-slope roof, which does not relate the existing downtown character.

Recommendations

- Parapet walls with cornices are encouraged, pitched roofs or pediment roofs may be approved if appropriate to the site and style of the building.
- Unique and decorative cornice designs are encouraged to generate character and building identity.

Standards

1. A positive visual termination at the top of the building **shall** be established, using either a pitched roof with gable(s) facing the street or a flat roof with a defined cornice.
2. Pitched roofs **shall** have a slope no less than 5:12.
3. An accurately-measured elevation drawing that illustrates the full rooflines of the proposed buildings and any neighboring buildings **shall** be submitted with the Design Standards Checklist.

Intent

To promote effective and attractive signage that complements the building’s architectural character and reflects the pedestrian scale of the district.

Examples

Examples of preferred signage (window, awning, building, & projecting); appropriate signage (monument & neon-interior usage); and prohibited signage (back-lit, neon, pole & roof).

The projecting sign provides an example of a sign illuminated from above.



Window Sign



Awning & Neon (interior usage) Signs



Building Sign



Projecting Sign



Monument Sign



Back-lit, Pole Sign



Large Neon, Roof Sign

Recommendations

- Preferred sign types include: building mounted signs that face the street, window signs, projecting signs and awning signs.
- Any use of neon for signage is encouraged to be small or only as a small portion of a larger sign.

Standards

1. All signs **shall** conform to the design and maintenance requirements of the Village’s Sign Ordinance (Title 10: Chapter 1) and a sign permit must be acquired. Signs must also conform to the following Downtown Design Standards.
2. **Prohibited** sign types include: roof-mounted, back-lit, pole and billboard signs.
3. Free-standing signs, if used, **shall** utilize monument-style design, and shall extend no higher than eight (8) feet above the mean street grade.
4. Electronic Message Unit Signs (e.g. LED signs), if used, **shall** not scroll or flash, and **shall** be no larger than twelve (12) square feet. Additionally, the sign **shall** not change in any way more than once every five (5) seconds.
5. Neon signage, if used, **shall** be used judiciously and respectful of the existing downtown character.
6. Any exterior lights **shall** be mounted above the sign and directed downwards. This standard applies to all signs, including free-standing monument signs.

Signage

Examples

The image on the right shows a back-lit sign (not permitted) that features a product more prominently than the business name (discouraged).



The following color palettes (on the right) are provided to establish specific color standards for signage within the downtown district.

Arts & Crafts Palette



Victorian Palette



Recommendations

- Signage should be integrated with the architectural concept of the development in scale, detailing, use of color and materials, and placement.
- Signage using natural or natural-looking materials are encouraged.
- Creative, detailed, artistic and unique signage is encouraged.
- Signage should feature the name and/or logo of the business(es) in that building. Signs should not prominently feature individual products (e.g. "Pepsi" & "Miller"), especially if not sold in the establishment.

Standards

7. Signs using one of the following pre-approved Sherwin-Williams color palettes **shall** be administratively approved:

- Arts & Crafts
- Victorian

8. Signs using any color not in the pre-approved color palettes (see above) **shall** be reviewed and approved by the building inspector.

Projections

Intent

To reinforce the existing character.

Examples

Building projections provide shelter and architectural character.

Mounting awnings below the horizontal expression line with lighting from above provides for a more attractive building facade (images on the right). Additionally, lighting from above cuts down on sky glow (light pollution).

Canopies do not relate to the existing character of the downtown area (image in the lower left).



Recommendations

- Use of ground floor awnings is strongly encouraged.
- Fabric or soft vinyl awnings are preferred.
- Awning colors should relate to and complement the primary colors of the building facade.
- Canopies (flat projections from the building facade) are discouraged.
- Upper floor projections into the minimum building setback are allowed, including balconies, bay windows, and awnings.

Standards

1. Awnings **shall** be at least three (3) feet in depth, and **shall** conform to the Title 10: Chapter 1, Article 5 of the Village Ordinances.
2. Awnings using wood or shingle components are **prohibited**.
3. Awnings may be lit from above, and/or may feature lighting beneath to illuminate the sidewalk; however, glowing awnings (backlit, light shows through the material) are **prohibited**.
4. Awnings **shall** be mounted below the horizontal expression line that defines the ground floor.
5. Upper floor projections **shall not** extend beyond the property line.

Colors & Materials

Intent

To reinforce the existing character, and to provide for variety and visual interest.

Examples

The images within the box on the left are preferred building materials (from top left to bottom right): kiln-fired brick, stucco, terra cotta, wood siding, and fiber cement siding.

The images within the box on the right are permitted building materials: vinyl siding (top) & cultured stone (bottom).



Recommendations

- Muted tones are preferred for the primary facade color.
- Bright colors are discouraged for the primary facade color, but are acceptable as a secondary color to highlight expression lines or details.
- Preferred exterior finish materials include kiln-fired brick, stucco, terra cotta, wood siding and details, and fiber cement siding.
- Permitted exterior finish materials include vinyl siding, high-quality cultured stone or brick veneer.
- EIFS (Exterior Insulation and Finish System) is discouraged as a principle facade material, especially at ground level where susceptible to damage, but is acceptable above the ground floor and as an accent material.

Standards

1. Day-glo or fluorescent colors are **prohibited**.
2. Vinyl siding is **prohibited** on the Main Street facade. If used on the other sides of the building, it **shall** be at least 0.044" in thickness.
3. **Prohibited** building materials include gravel aggregate materials, stone or cultured stone in a random ashlar pattern, rough-sawn wood siding, polished stone, and panelized products.
4. All exposed sides of a building **shall** use similar or complementary materials as used on the front facade.
5. Any secondary facade facing a public street (corner buildings) **shall** utilize the same materials as the primary front facade.
6. A picture and a sample of each exterior material and a facade illustration that indicates colors and materials **shall** be submitted with the Design Checklist.

Waterfront Yards

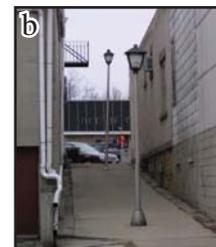
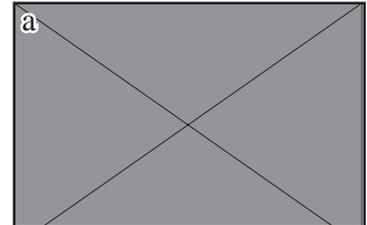
Intent

To improve the appearance of the business districts as seen from Belleville Community Park and any future waterfront bike path. To increase the use of the waterfront yards for recreational and tourist-orientated activities.

Examples

The diagram (left) demonstrates the future possibilities for a connection between Main Street and any future waterfront bike path.

The pictures on the right provide examples: a) of compatible building design and color scheme from the front to the back; b) pedestrian pathway from the back yard to the public street; and c) a waterfront patio space.



Recommendations

- Business uses facing the waterfront and future bike path are encouraged, especially recreation and tourist-oriented uses. If the use has entrances from both Main Street and the rear waterfront-side, the Main Street entrance should be treated as the primary entrance.
- Where appropriate, shared parking and service amenities in rear yards are strongly encouraged, especially to preserve access across existing parcels.
- Public rear entries should be inviting and attractive. Options to achieve this goal include a glass door, ample windows, signage identifying the business, awning or canopy above the doorway, appropriate lighting, landscaping, planter boxes, decks, etc.
- Rear patios and decks that allow views of Lake Belleville and Belleville Community Park are strongly encouraged.
- Pedestrian connections to the water's edge are strongly encouraged.

Standards

1. Buildings on parcels adjacent to Lake Belleville and/or Belleville Community Park are highly visible from the park and **shall** be designed, constructed and maintained to ensure an attractive appearance from the park. Materials selected for the rear facade may differ from those approved for the street facade but general design treatment and color schemes **shall** be consistent around all sides of the building.
2. Outdoor storage of any kind, excluding seasonal retail product displays, **shall** be screened from view from the waterfront and from neighboring parcels.

Cleaning & Restoration

Intent

To promote the appropriate preservation and restoration of existing architectural features in Downtown Belleville.

Examples

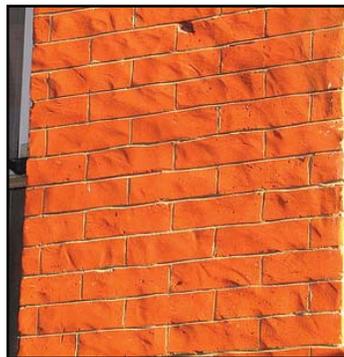
The top right image provides an example of a reconstructed architectural pediment.



The before and after images on the right shows a restoration project that removed siding in order to reveal the existing brick and architectural details.



The image in the lower right shows the negative effects of sandblasting brick work.



Recommendations

- Firms that specialize in historic preservation are recommended both for cleaning and repair (contractors) and for wholesale recreation of historic elements (architects).
- If restoration is not feasible, new elements should be designed that replicate or are at least consistent with the character, materials and design of the original building.
- Building owners are encouraged to use a “historic” color for the primary facade color. Many of the major paint manufactures such as Pratt & Lambert, Benjamin Moore, Sherwin Williams publish “historic color” sample charts which are available at paint dealers.
- Previously obscured design details should be revealed and restored, whenever feasible.

Standards

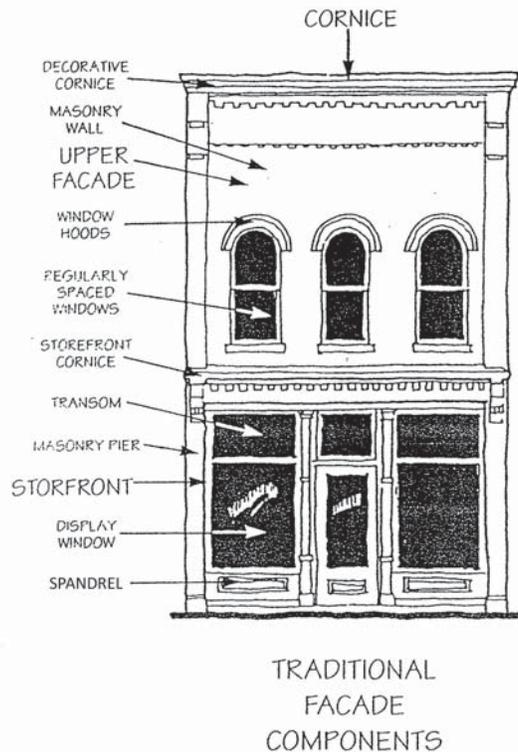
1. Architectural details **shall not** be obscured or covered up by siding, awnings or signage.
2. Chemical or physical treatments, such as sandblasting, to existing painted brick or stone is **prohibited**. If necessary, surface cleaning **shall** use the gentlest means possible.

Architectural Details

Intent

To promote the appropriate preservation and restoration of existing architectural features in Downtown Belleville.

Examples



Recommendations

- Building owners are strongly encouraged to remove materials which cover the transom. If the ceiling inside has been lowered below the transom, it is recommended that the ceiling be raised for a few feet behind the transom.
- If the original spandrel is in poor condition or is missing, building owners are strongly encouraged to reconstruct it with materials consistent with the size and design of the original panels.
- Replacement doors and windows on a historic building should maintain the historic character of the building by matching the original material, proportions, design, etc.

Standards

1. Infilling existing spandrels with concrete block (unless it matches the primary facade material) is **prohibited**. Brick, if used to infill the spandrel, **shall** match the building as closely as possible in size, color, and texture.
2. Building owners shall consult the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Revised 1990).

Checklist

Instructions

This checklist must accompany the submission of any application for a building permit in the Downtown Design Standards Overlay District (interior alterations excluded). If a section does not address the modification or addition of the building permit, then fill in the “does not apply” box DNA and leave the remainder of that section empty. Sections that address the building permit must be completed in full with checks on the elements completed and cross outs on those standards that do not apply.

Applicant
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Site Plan Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Site Plan submitted, including (as applicable): | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ▪ trash and recycling containers | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ▪ pedestrian pathways | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ▪ parking and circulation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ▪ landscaping | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ▪ stormwater management features | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ▪ lighting | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Street Relationship Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Primary structure set back 4' - 10' from R.O.W. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Building projections do not encroach the building setback | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Lighting Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Exterior light fixture spec sheets submitted | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Exterior lights are full cut-off & not directed to the sky | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Light spillage does not exceed 0.5 footcandles at property line adjacent to residential/park uses | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Parking Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1a. No new off-street parking in front of the building | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 1b. Side yard parking does not exceed 64 ft. wide | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Parking stalls & drive aisles separated by a planted landscape buffer (4' or equal to building setback) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Landscaping Standards

Comments (office use only):

1. Low fences and plantings located between parking areas and public R.O.W. do not obscure vision between 3' - 8' above ground (planting at maturity)

2. At least one shade tree is planted for every six parking spaces that meet the size requirements

3. All plantings within 50 feet of water's edge are native, noninvasive species

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Stormwater Standards

Comments (office use only):

1. On-site stormwater management systems are designed to meet requirements

▪ Village Ordinance Title 10: CH8 (4k SF or greater)

▪ WI Statutes CH: NR151 (1 acre or greater)

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Service Areas Standards

Comments (office use only):

1. Trash/recycling containers and roof/street-level mechanical equipment are located or screened so that they are not visible from a public street (excluding electrical service boxes)

2. Service boxes are located away from pedestrian zones

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Scale & Articulation Standards

Comments (office use only):

1. The building is at least 16 feet high

2. The building is no taller than 35 feet (2.5 stories)

3a. New building establishes vertical proportions for the street facade & for elements w/in the facade

3b. Building with a total width (= or >) to its height utilizes at least one of the following techniques:

▪ expression of structural bays

▪ variations in material

▪ variation in the building plane

▪ vertically-proportioned windows

4. New buildings utilize a horizontal expression line that projects at least 2" from the building facade

5. Submitted detailed elevation of each exposed building facade and its neighboring buildings

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Facade - Base Standards

Comments (office use only):

| | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1. A “discernable” base of at least 2 feet in height | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2a. At least 35% of ground floor facade is clear glass | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2b. Minimum of 2 feet maintained between the glass and any interior dividers | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Secondary facades facing any public street utilizes the same design features and materials as the primary front facade | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. A transparent glass percentage diagram of each street-facing facade is submitted | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Facade - Top Standards

Comments (office use only):

| | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1. The building has a pitched roof with a gable facing the street or a flat roof with a defined cornice | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Pitched roofs have a slope no less than 5:12 | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. An accurately-measured elevation drawing that illustrates the full rooflines of the proposed building & any neighboring buildings is submitted | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Signage Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. All signs conform to the design & maintenance requirements of the Village’s Sign Ordinance | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. No roof-mounted, back-lit, pole & billboard signs | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Free-standing signs utilize monument-style design & are no higher than 8’ above mean street grade | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. LED signs do not scroll or flash, are no larger than 12 square feet, & do not change in any way more than once every five seconds | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Neon signage is judicious and respectful of the existing downtown character | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Exterior lights illuminating a sign are mounted above the sign and are directed downwards | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Signs are using one of the pre-approved Sherwin-Williams color palettes | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Signs are using colors that are not pre-approved and are subject to review and approval from Plan Commission | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Projections Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Awnings are at least 3' deep and conform to the Title 10: CH 1, Article 5 of the Village Ordinances | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. No awnings with wood or shingle components | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. No glowing/back-lit awnings | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Awnings are mounted below the horizontal expression line that defines the ground floor | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Upper floor projections do not extend beyond the property line | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Colors & Materials Standards

Comments (office use only):

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. No day-glo or fluorescent colors | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2a. No vinyl siding on the Main Street facade. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2b. Vinyl siding used on any facade other than the Main Street facade is at least 0.044" in thickness | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3a. No gravel aggregate materials | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3b. No stone or cultured stone in a random ashlar pattern | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3c. No rough-sawn wood siding | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3d. No polished stone | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3e. No panelized products | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. All exposed sides of the building use similar or complementary materials as used on the front | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Any secondary facade facing a public street is utilizing the same materials as the primary facade | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. A picture & sample of each exterior material, and a facade illustration that indicates colors & materials are submitted | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Waterfront Yards Standards

Comments (office use only):

| | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1a. Buildings are designed, constructed and maintained to ensure an attractive appearance from the park | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 1b. General design treatment and color schemes are consistent around all sides of building | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Outdoor storage, excluding seasonal retail product displays, are screened from view from the waterfront and from neighboring parcels | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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Cleaning & Restoration Standards

Comments (*office use only*):

1. Architectural details are not obscured or covered up by siding, awnings or signage

2a. No damaging chemical or physical treatments to existing painted brick or stone

2c. Surface cleaning shall use the gentlest means possible

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Architectural Details Standards

Comments (*office use only*):

1. No infilling existing spandrels with concrete block unless it matches the primary facade material

2. Consult the Secretary of Interior Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (*Revised 1990*)